

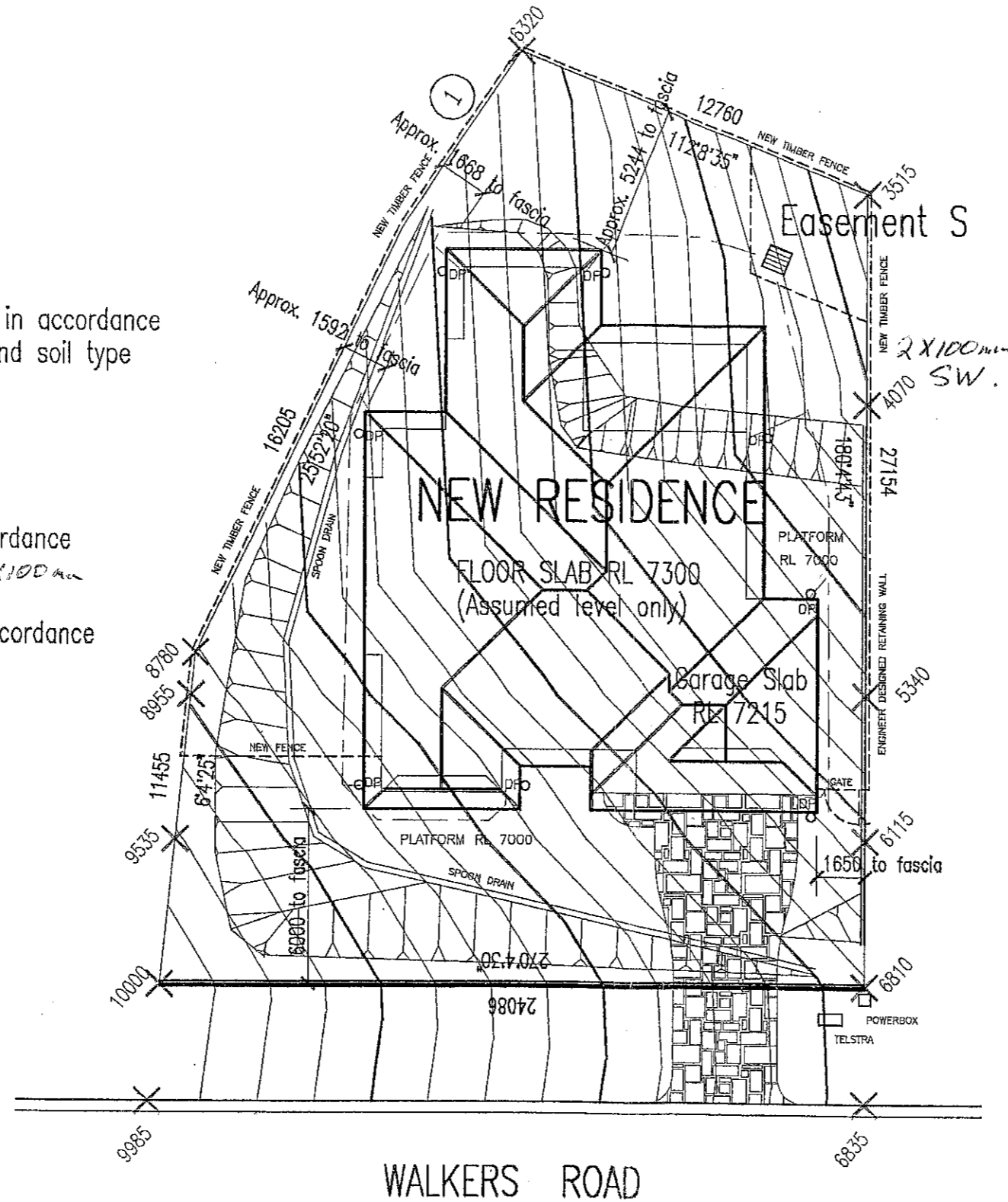
NOTE:
 Confirm all dimensions prior to commencement of construction.
 Do not scale. Use written dimensions only.

Contours indicated at 0.250 metre intervals.

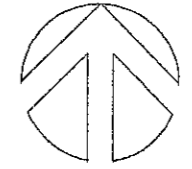
All batter ratios, cut and fill, to be in accordance with BCA Part 3.1.1 Table 3.1.1.1 and soil type encountered on site.
 BATTERS ILLUSTRATED ARE INDICATIVE ONLY.
 Retain batters as necessary.

Discharge roof water to stormwater connection point in accordance with local authority requirements. 2X100mm

Erosion and sediment controls in accordance with PRSC Drawing 97-4-126.



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Lot number 34
 Registered Plan number SP 135972
 Parish KEDRON
 County STANLEY
 Area 604 SQ.M.

Short boundaries		
Code	Length	Bearing
1	7190	34° 0' 15"

CP 2 - 1 0 6 9

SITE PLAN



chris woods drafting and building designs pty. ltd.
 30 Mortimer Street, Caboolture. 4510
 phone (07) 5495 5728. fax (07) 5499 4550.
 QBSA Lic. No. 063524
 ACN: 056 428 767



job description
NEW RESIDENCE
 owners name
 MANCORP DEV. GROUP P/L.

job address
 LOT 34
 WALKERS ROAD,
 EVERTON HILLS.

scale
 1:200
 date
 07/03/2002

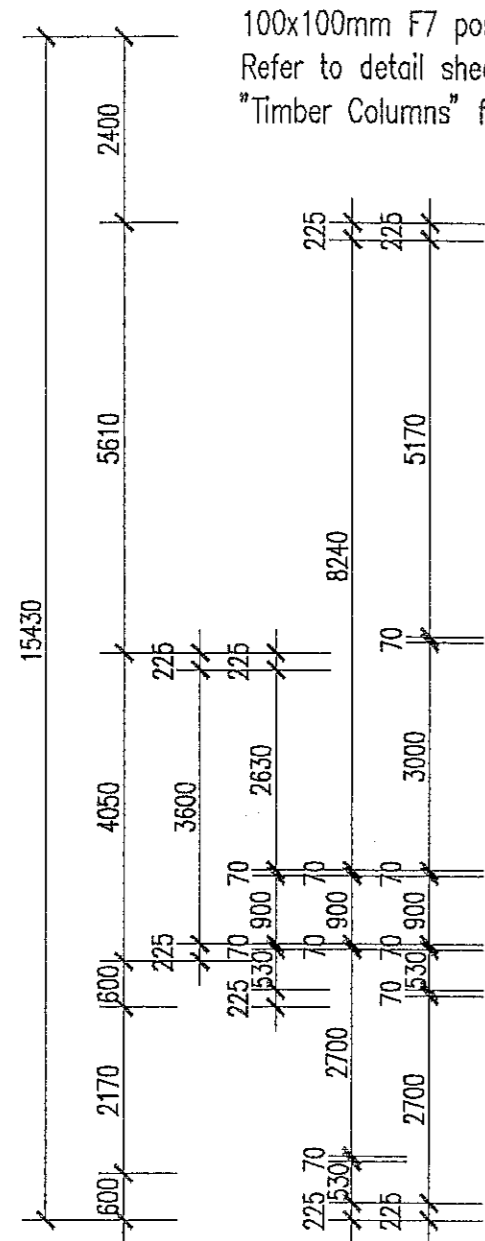
drawing no.
 MAN0221/1

MANCORP
 DEVELOPMENT GROUP
 PTY LTD

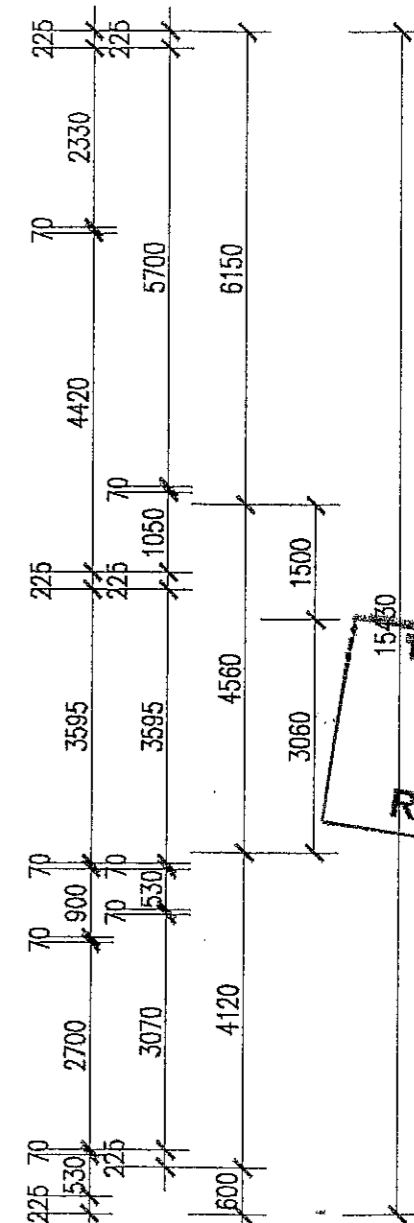
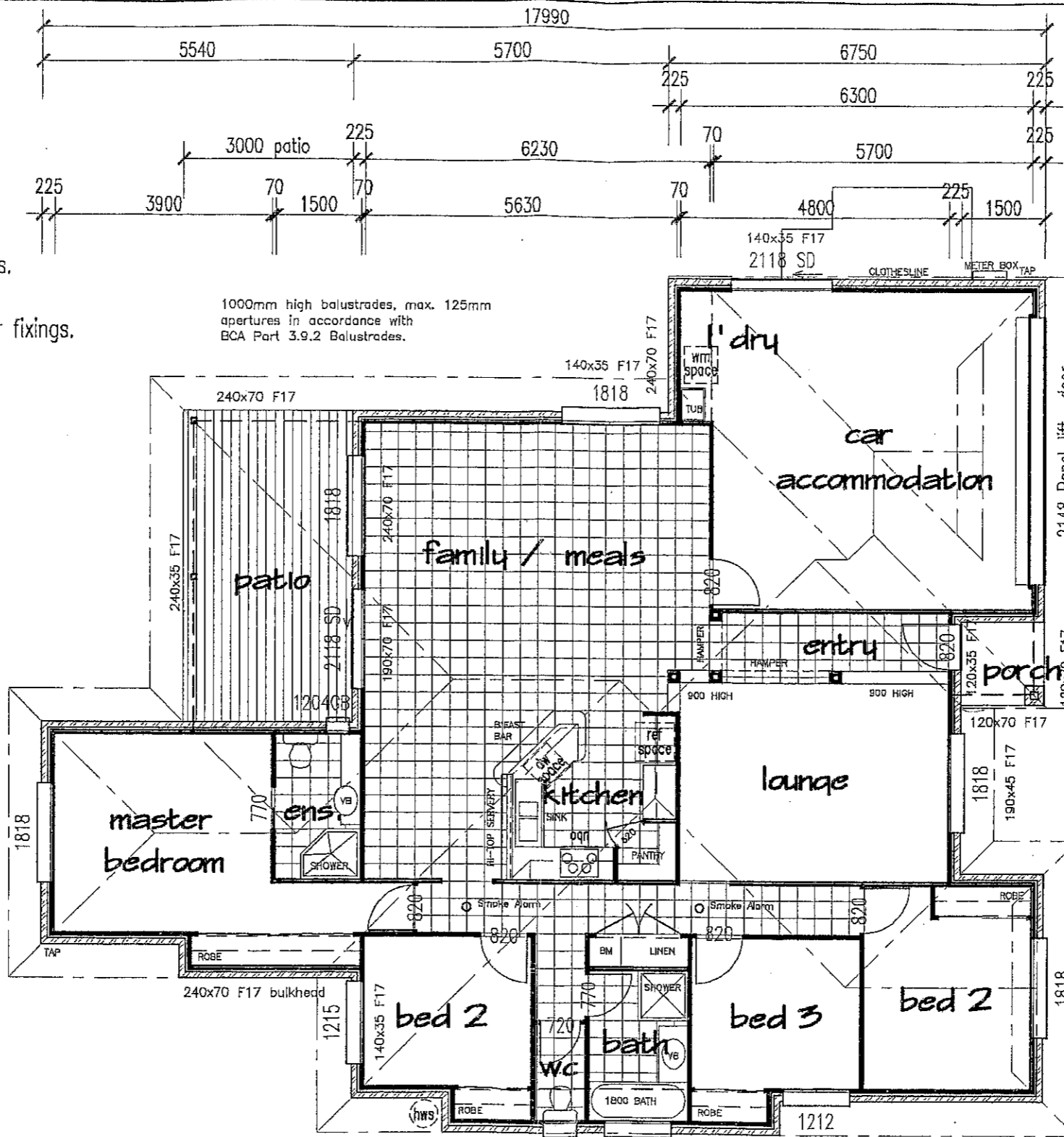
P.O. BOX 1305, CABOOLTURE 4510.
 OFFICE: (07) 5495 2011
 FAX: (07) 5495 2677
 A.C.N. 065 955 179

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New Dwelling Area - 192.04 sq.m.
 Porch Area - 2.25 sq.m.
 Patio Area - 16.83 sq.m.
TOTAL AREA - 211.12 sq.m.



100x100mm F7 posts.
 Refer to detail sheet
 "Timber Columns" for fixings.



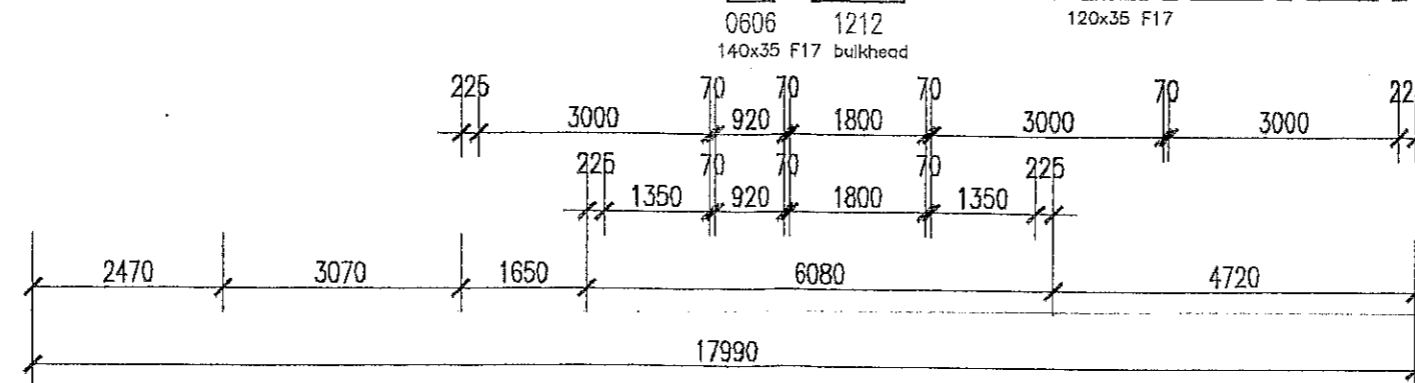
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Provide D.P.C. to both sides doors and window, exposed heads and below sills.

Provide lift-off hinges to toilet doors.

350x350mm brick column. 1/M12 anchor rod continuous from conc. footings to beam. Conc. fill core.

FLOOR PLAN



CP 2 - 1 0 6 9



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job description
NEW RESIDENCE
 owners name
MANCORN DEV. GROUP P/L

job address
LOT 34 WALKERS ROAD, EVERTON HILLS.

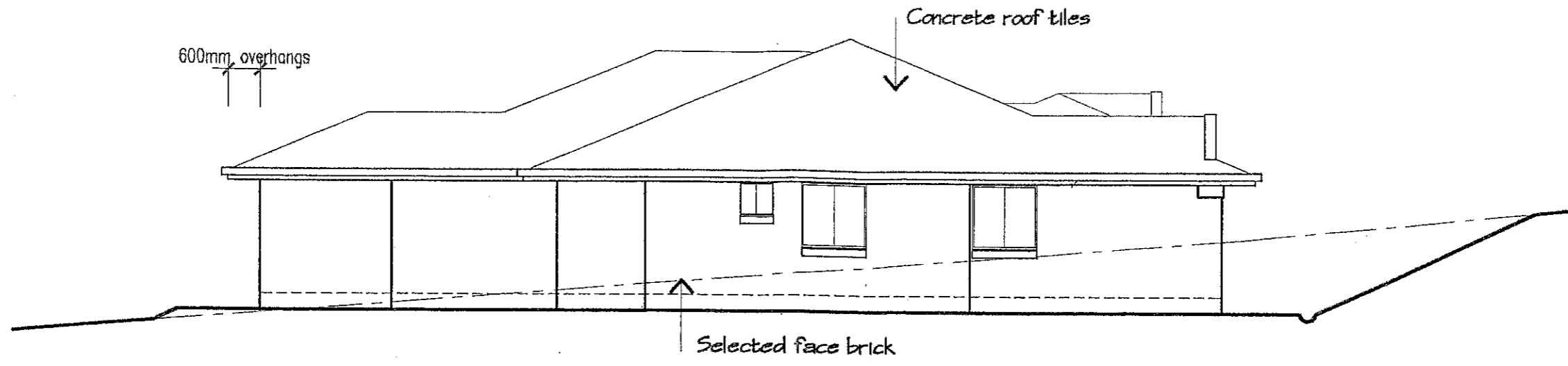
MANCORN
 DEVELOPMENT GROUP

PTY LTD
 P.O. BOX 1305, CABOOLTURE 4510.
 OFFICE: (07) 5495 2011
 FAX: (07) 5495 2677
 A.C.N. 065 955 179

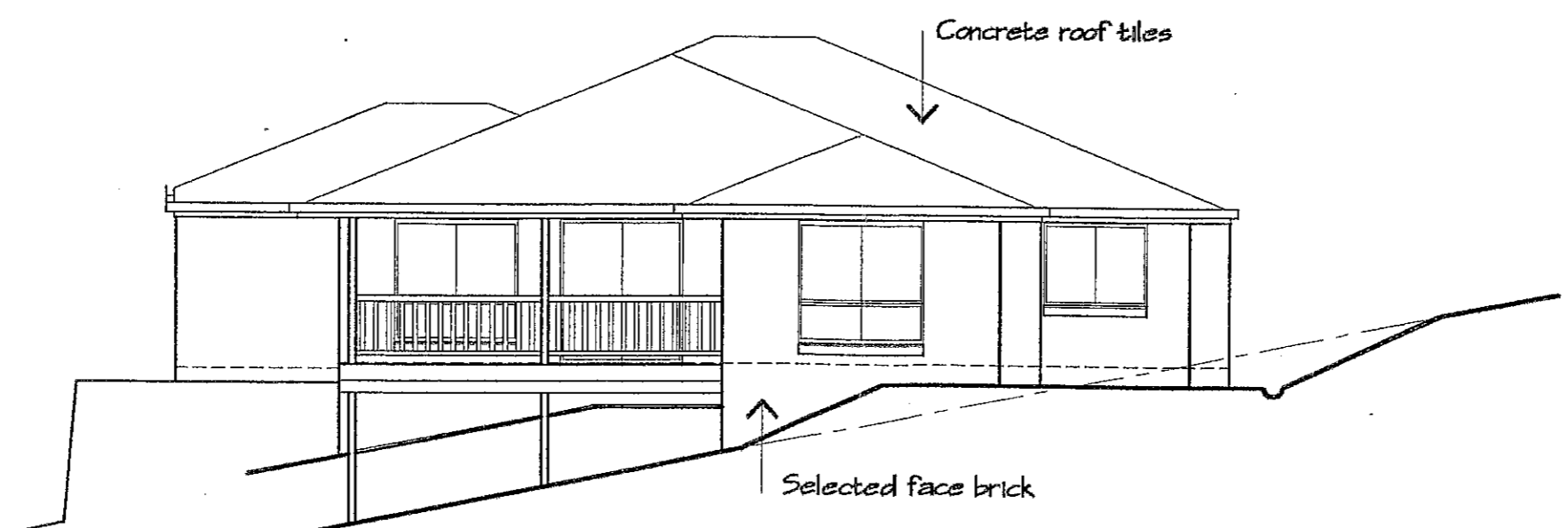
scale
1:100
 date
07/03/2002
 drawing no.
MAN0221/2

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Roof bracing to truss manufacturers directions.



LEFT SIDE ELEVATION



REAR ELEVATION

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 ACN: 058 428 767



job description
 NEW RESIDENCE
 owners name
 MANCORP DEV. GROUP P/L.

job address
 LOT 34
 WALKERS ROAD,
 EVERTON HILLS.

scale
 1:100
 date
 07/03/2002

drawing no.
 MAN0221/4