

SITE NOTES

1. DETAIL OF THE CUT & FILL REQUIREMENTS FOR THIS BUILDING SITE IS BASED ON SURFACE LEVELS TAKEN AND OWNER/BUILDER SPECIFIED REQUIREMENTS. SUCH DETAIL IS SUBJECT TO VARIATION DEPENDENT UPON GROUND CONDITIONS ENCOUNTERED, SOIL TEST RESULTS AND LOCAL AUTHORITY REQUIREMENTS.
2. CLEAR BUILDING AREA OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER. REMOVE ALL STUMPS & ROOTS. STOCKPILE TOP SOIL FOR RE-USE ON COMPLETION OF BUILDING CONSTRUCTION. TOP SOIL IS NOT TO BE USED AS FILL MATERIAL.
3. ALL CUT & FILL EMBANKMENTS TO BE NO STEEPER THAN 1:2 & ALL DRIVEWAYS TO BE NO STEEPER THAN 1:6. ALL EARTHWORKS TO BE IN ACCORDANCE TO A.S. 2870.
4. SLOPE BUILDING PAD TO DRAIN AWAY FROM RESIDENCE & TO NATURAL GROUND FALL.
5. SITE WORKS INDICATED ON THIS PLAN ARE FOR CONSTRUCTION PROPOSES ONLY. IT IS THE CLIENTS RESPONSIBILITY TO CARRY OUT ALL LANDSCAPING, SITE DRAINAGE, RETAINING WALLS AFTER COMPLETION OF CONSTRUCTION. ALL RETAINING WALLS & EMBANKMENTS SHOWN ARE TO COMPLY WITH THE LOCAL AUTHORITIES POLICY FOR RETAINING WALLS & EMBANKMENTS ON RESIDENTIAL BUILDING SITES. POSITION OF RETAINING WALLS & EMBANKMENTS MAY VARY ACCORDING TO SITE WORKS.
6. LEVEL OF CONCRETE FLOOR SLAB TO DWELLING IS TO BE VERIFIED BY BUILDER TO ENSURE THAT A MINIMUM HEIGHT ABOVE FINISHED GROUND LEVEL IS ATTAINED IN ACCORDANCE TO THE B.C.A. QLD BUILDING ACT-AMMENDMENT ACT 1991 & THE LOCAL AUTHORITY POLICY & TO CONFIRM CUT & FILL LEVELS.
7. BUILDER TO VERIFY LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.
8. CONFIRM THAT ALL SURVEY PEGS ARE IN THE CORRECT POSITION BEFORE SETTING OUT THE BUILDING. IF ANY DOUBT ARISES CONTACT THE BUILDER/SURVEYOR.
9. AFTER COMPLETION OF CONSTRUCTION OF THE DWELLING, THE OWNER SHALL MAINTAIN THE SITE & DWELLING IN ACCORDANCE WITH THE C.S.I.R.O. LEAFLET SHEET No. 10-91 "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE & FOOTING PERFORMANCE".
10. DO NOT SCALE DIMENSIONS OFF PLAN. FIGURED DIMENSIONS TO BE USED AT ALL TIMES.

PLUMBING NOTES

1. ALL DRAINAGE & PLUMBING WORKS MUST BE CARRIED OUT BY A LICENCED PLUMBER/DRAINER ONLY & STRICTLY IN ACCORDANCE WITH "THE STANDARD SEWERAGE BY-LAWS". NO WORK SHALL BE COVERED UP UNTIL IT HAS BEEN EXAMINED & PASSED BY THE COUNCIL'S INSPECTOR.
2. DISCHARGE ALL WASTES TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE LOCAL COUNCIL'S SPECIFICATION.
3. DISCHARGE ROOF WATER TO STORMWATER CONNECTION POINT AS PER COUNCIL'S REQUIREMENT.
4. ROOFING CONTRACTOR & PLUMBER TO ENSURE THAT THE NUMBER OF DOWNPIPES SHOWN ON PLAN IS ADEQUATE & LOCATED IN THE OPTIMUM POSITIONS.
5. A RAINWATER TANK IS TO BE INSTALLED TO SERVICE WATER CLOSETS & WASHING MACHINE IN ACCORDANCE WITH PART 25 QUEENSLAND DEVELOPMENT CODE & LOCAL AUTHORITIES REQUIREMENTS.
6. LOCATION OF HOT WATER SYSTEM TO BE NOMINATED ON SITE BY BUILDER/PLUMBER AT ROUGHING STAGE.
7. ENSURE 100m² OF ROOF RAIN WATER TO WATER TANKS. OVER FLOW TO HAVE SEPERATE STORMWATER LINE.

PROPERTY DESCRIPTION

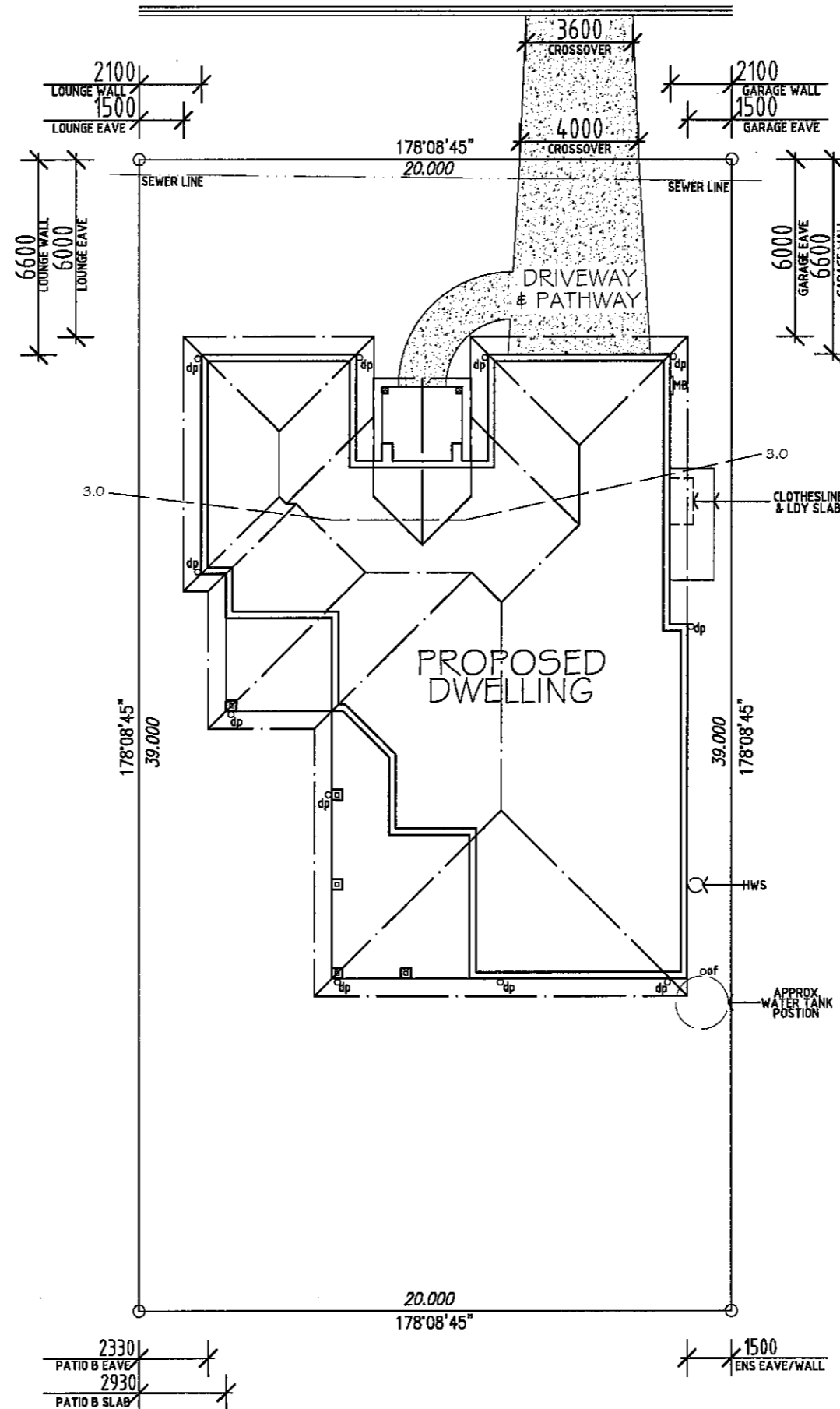
LOT 693
SP 160024
PARISH OF
COUNTY OF

SITE ANALYSIS

TOTAL SITE AREA 780sqm



RAPTOR PARADE



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MANCORP
QUALITY HOMES

PO BOX 1305,
CABOOLTURE QLD 4510
PH : (07) 5495 2011
FAX : (07) 5495 2677

AMENDMENTS

ISSUE	DATE	DESCRIPTION
B	29/07/08	CHANGES BY MANCORP

LEGEND

- dp DOWN PIPE
- of OVERFLOW
- ▨ DRIVEWAY & PATHWAY

AREAS

LIVING & GARAGE	241.21sqm
PORCH	6.33sqm
PATIO A	29.37sqm
PATIO B	11.24sqm
TOTAL	288.15sqm

CLIENT:
MANCORP QUALITY
HOMES

SITE:
LOT 693 SEAEAGLE PLACE
OSPREY ISLAND
QLD

DRAWN BY	BD
CHECK BY	
WIND CLASS	N3
ISSUE	A
ISSUE DATE	20/08/08
PROJECT No.	
SHEET	1 OF 11
SCALE	1:100

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AMENDMENTS

ISSUE	DATE	DESCRIPTION

LEGEND

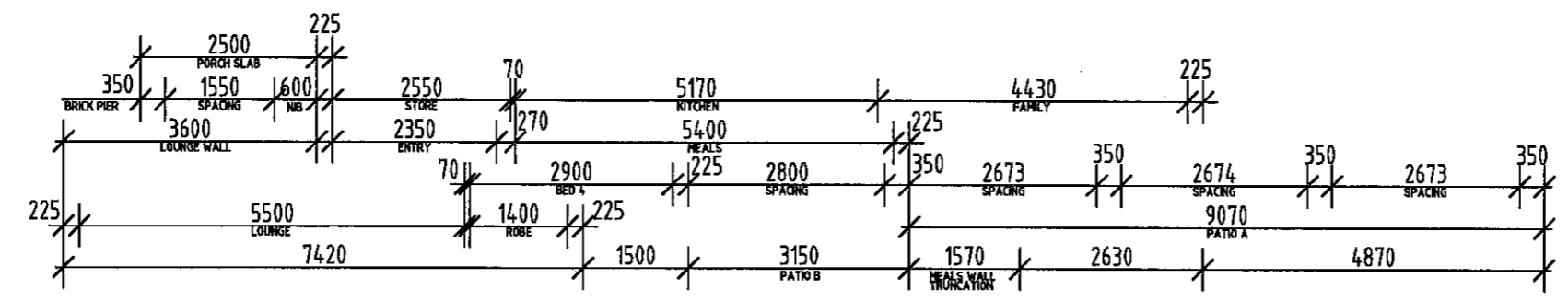
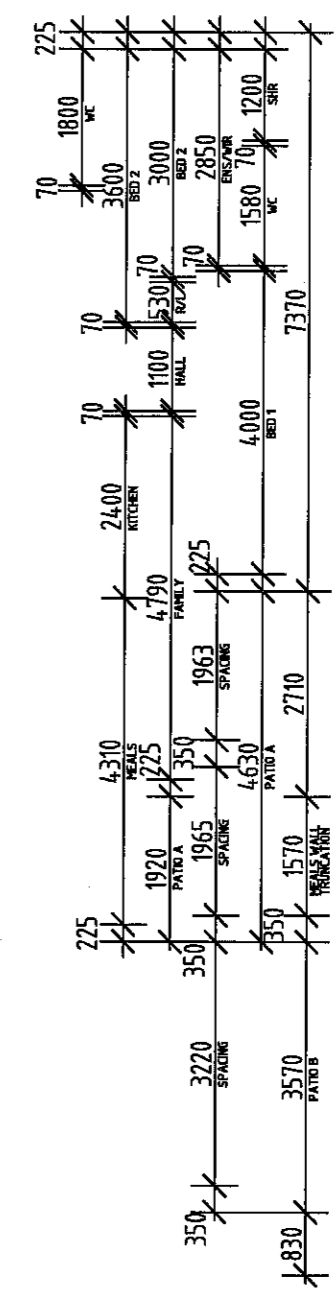
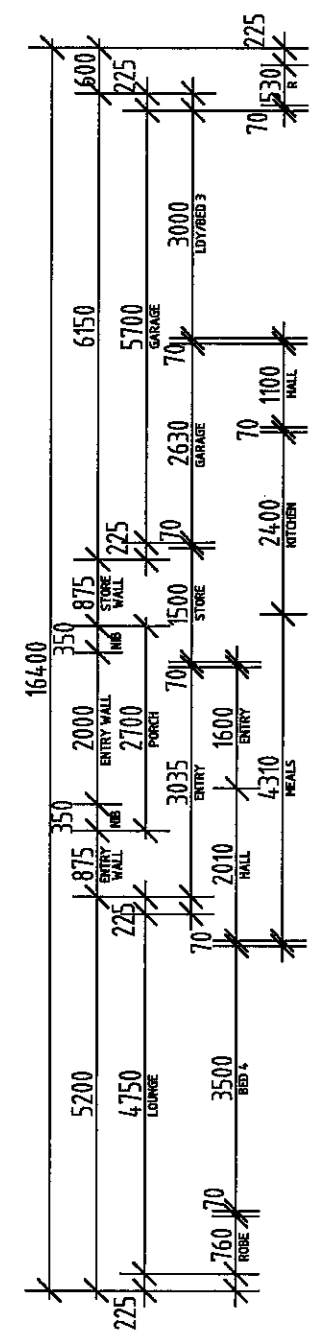
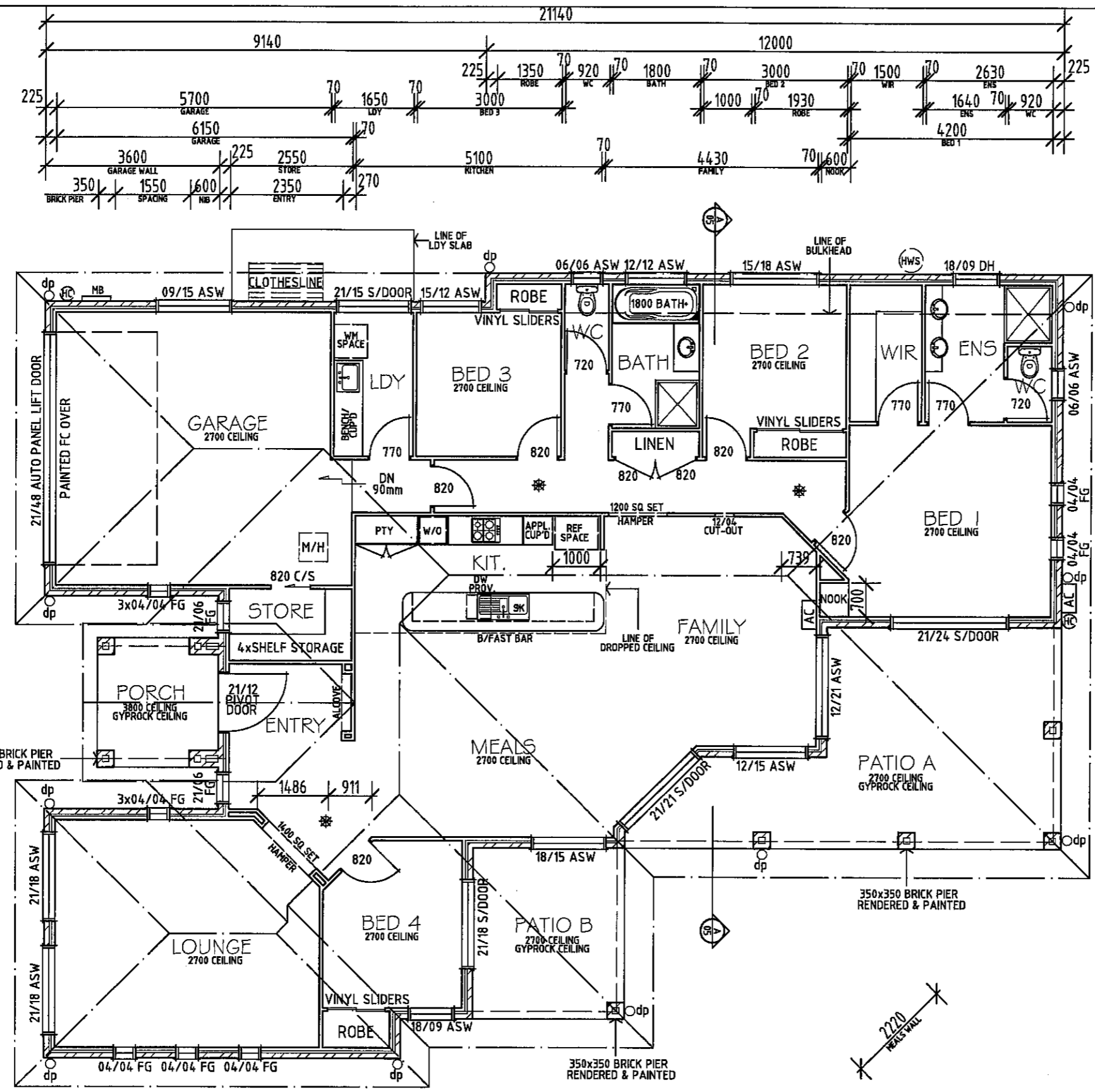
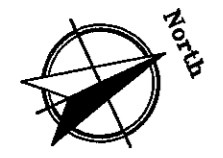
B	BASIN
WC	WATER CLOSET
CT	COOK TOP
REF	REFRIGERATOR
UBO	UNDER BENCH OVEN
PTY	PANTRY
SK	SINK
DW	DISH WASHER
BC	BROOM CLOSET
LIN	LINEN
LS	LAUNDRY SHUTE
SH	SHELVES
WM	WASHING MACHINE
OHC	OVER HEAD CUPBOARD
FRZ	FREEZER
○	DOWN PIPE
○	OVERFLOW
*	SMOKE DETECTOR

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SHEET	2 OF 11
SCALE	1:100



- NOTES**
1. PROVIDE IMPERVIOUS SURFACE BARRIER TO FLOORS IN LDY, WC, BATHROOM & ENS IN ACCORDANCE WITH B.C.A. & A.S. 3740-2004
 2. PLUMBER TO INSTALL FLOOR WASTES WHERE REQUIRED TO WET AREAS IN ACCORDANCE TO B.C.A. & PLUMBING CODES.
 3. PROVIDE SMOKE ALARMS TO THE RESIDENCE IN ACCORDANCE WITH PART 3.7.2 OF THE B.C.A. 2006 VOL.2. ALARMS SHALL BE CONNECTED TO MAINS POWER. REFER TO PLAN FOR POSITIONS.
 4. LOCATION OF METERBOX AS NOMINATED BY BUILDER.
 5. WC DOOR TO BE FITTED WITH LIFT-OFF TYPE HINGES.
 6. DRAWING SYMBOLE USED ON THIS DRAWING ARE NOT A TRUE REPRESENTATION OF ITEMS INCLUDED IN CONTRACT. REFER TO CONTRACT FOR SPECIED ITEMS.
 7. LOCATION OF HOT WATER SYSTEM TO BE NOMINATED ON SITE BY BUILDER/PLUMBER AT ROUGHING STAGE.
 8. ENSURE 100m2 OF ROOF RAINWATER TO WATER TANKS. OVER FLOW TO HAVE SEPERATE STORMWATER LINE.

FLOOR PLAN
1:100

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AMENDMENTS

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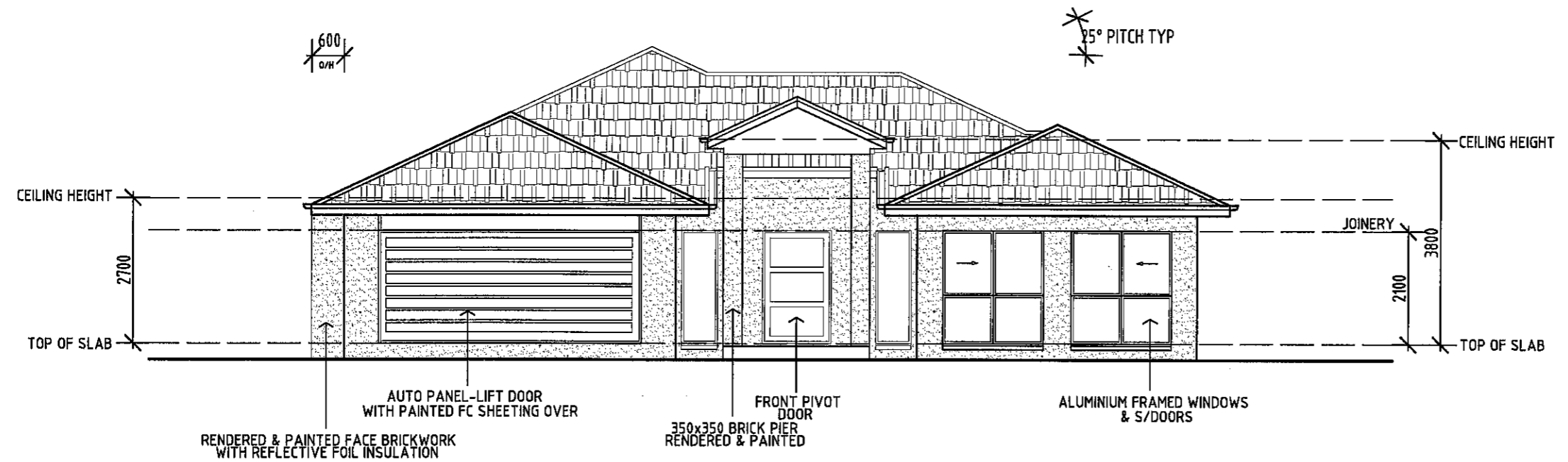
LEGEND

AREAS

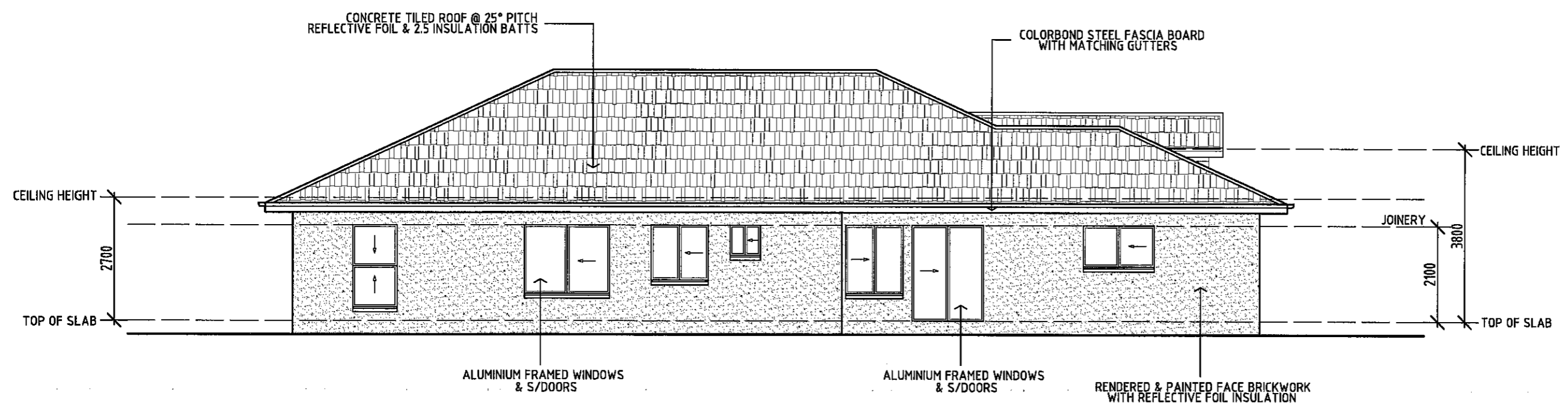
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SITE:
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OSPREY ISLAND
QLD

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WIND CLASS	N3
ISSUE	A
ISSUE DATE	20/08/08
PROJECT No.	
SHEET	3 OF 11
SCALE	1:100

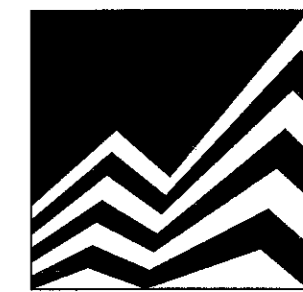


03 SOUTHERN ELEVATION
1:100



03 WESTERN ELEVATION
1:100

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AMENDMENTS

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CHECK BY

WIND CLASS N3

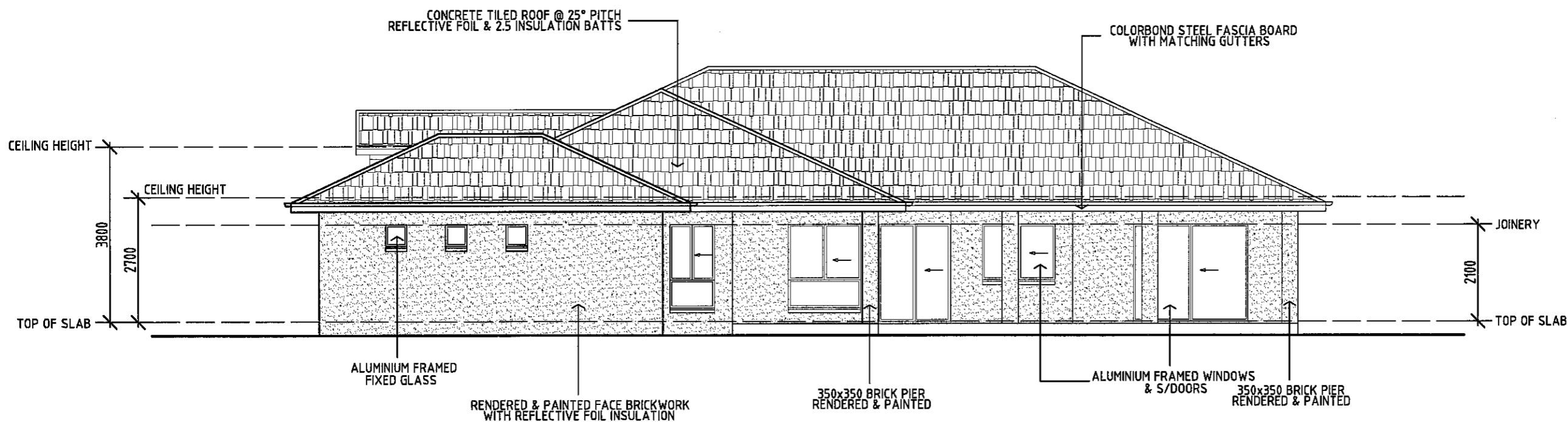
ISSUE B

ISSUE DATE 29/07/08

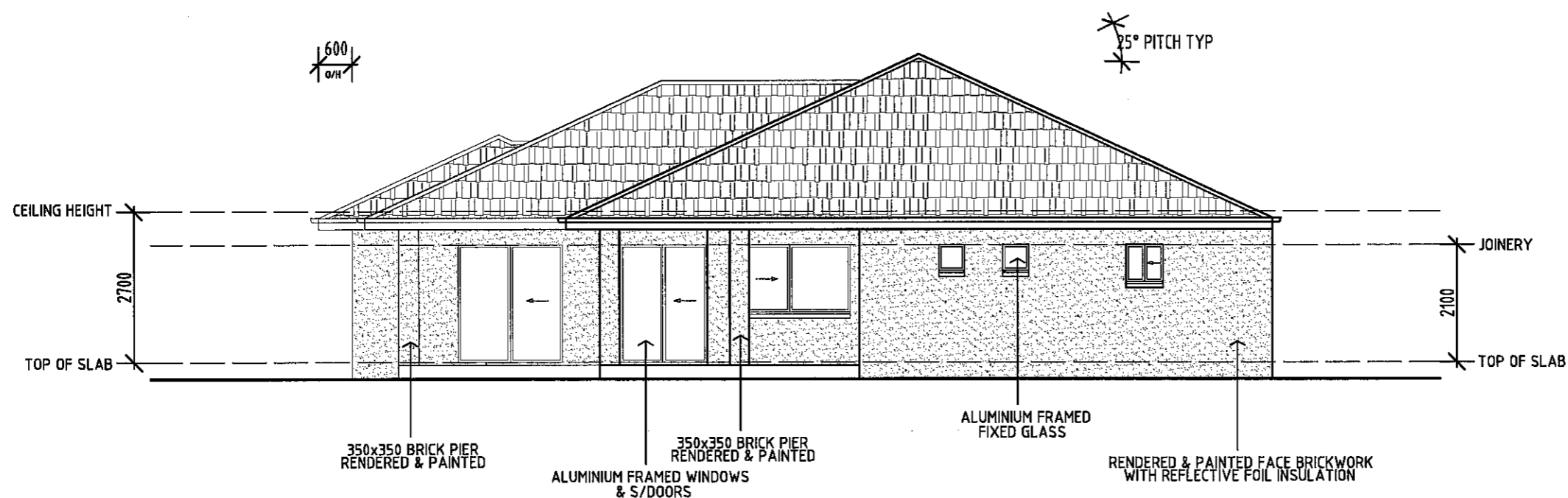
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SHEET 4 OF 11

SCALE 1:100



04 EASTERN ELEVATION
1:100



04 NORTHERN ELEVATION
1:100